

April 9, 2026

City of Thorold
3540 Schmon Parkway
PO Box 1044
Thorold, ON L2V 4A7

Functional Servicing Brief

26 Clairmont Street, Thorold (D10-18-2025)

1. Introduction & Background

LandSmith Engineering & Consulting Ltd. (LandSmith) have been retained by St. Andrew's Presbyterian Church for the completion of a Functional Servicing Brief in support of the proposed severance of the lot at 24 & 26 Clairmont Street, Thorold. The purpose of this Functional Servicing Brief is to review the existing municipal services currently available for the servicing of the existing 2-storey brick dwelling at 26 Clairmont Street and ensure their suitability for Site Plan Approval.

Under the City of Thorold's Comprehensive Zoning By-Law 60(2019), the lands are currently zoned Minor Institutional (I2). The lot has an existing church with address 24 Clairmont Street and an adjacent 2-storey brick dwelling with address 26 Clairmont Street. The proposal is to adjust the existing lot line to create a standalone lot for the existing dwelling at 26 Clairmont Street, as well as to rezone the parcel as residential. Conditional approval for a severance application to facilitate this lot line adjustment was received from Thorold's Committee of Adjustment on November 24th, 2025 (Municipal File D10-18-2025).

2. Servicing Analysis

2.1. Water Servicing

Adjacent to the site, there is an existing 150mm diameter cast iron municipal watermain along Clairmont Street which is illustrated on the Plan & Profile drawing attached to this brief for reference.

As per City standards, the existing water service for the dwelling at 26 Clairmont Street is assumed to be 19mm diameter, type 'K' soft copper tubing. This water service connects to the 150mm diameter municipal watermain and enters the site at the frontage along Clairmont Street adjacent to the front of the dwelling (and does not cross onto Church property on the adjacent lot). This water service has been located and is illustrated on the topographic survey prepared by Richard Larocque Limited and attached to this brief for reference. Since there are no new fixtures proposed for the dwelling at 26 Clairmont Street, the existing water service will remain.

2.2. Sanitary Servicing

Adjacent to the site, there is an existing 200mm diameter municipal sanitary sewer along Clairmont Street which flows westerly with a slope of approximately 3.1% and is illustrated on the Plan & Profile drawing attached to this brief for reference.

The existing sanitary lateral for the dwelling at 26 Clairmont Street connects to the 200mm diameter municipal sanitary sewer and enters the site at the west side of the frontage of the dwelling off of Clairmont Street. This sanitary lateral has been located and is illustrated on the topographic survey prepared by Richard Larocque Limited and attached to this brief for reference. Since there are no new fixtures proposed for the dwelling at 26 Clairmont Street, the existing sanitary lateral will remain.

2.3. Stormwater Servicing

Adjacent to the site, there is an existing 300mm diameter municipal storm sewer along Clairmont Street which flows westerly with a slope of approximately 1.9% and is illustrated on the Plan & Profile drawing attached to this brief for reference. Adjacent to the southwest corner of the site, there is a catchbasin at the gutter line of the road which conveys roadway runoff to the 300mm diameter storm sewer. There are no existing lot level stormwater controls. Generally, the lot drains from south to north towards the adjacent property and away from Clairmont Street as illustrated in the attached topographic survey. As per of the current proposal parking spaces will be added at the front of the lot. Stormwater from the two new asphalt parking spaces will be directed towards Clairmont Street, while the balance of the property's drainage pattern will remain as per the original conditions. Please refer to the attached Grading & Existing Services Plan for reference.

2.3.1. Stormwater Management

As seen on the Site Plan, for the severed parcel at 26 Clairmont Street, the existing 1-storey garage in the backyard is to be removed, and two new parking spaces at the front of the dwelling are proposed. Since the area of the existing garage to be removed (37m²) is less than the area of the proposed parking spaces (32m²), the overall imperviousness of the site will not increase as a result of the proposed development. This level of imperviousness is consistent with single family residential lots in the City of Thorold and no additional stormwater management measures will be required.

3. Conclusion

In conclusion, based on the foregoing analysis, we recommend that the development can be serviced in accordance with the requirements of the City of Thorold.

Thank you for your consideration of the above Functional Servicing Brief. Should you have any questions or require clarification with respect to any part of the above please do not hesitate to contact the undersigned.

Respectfully submitted,

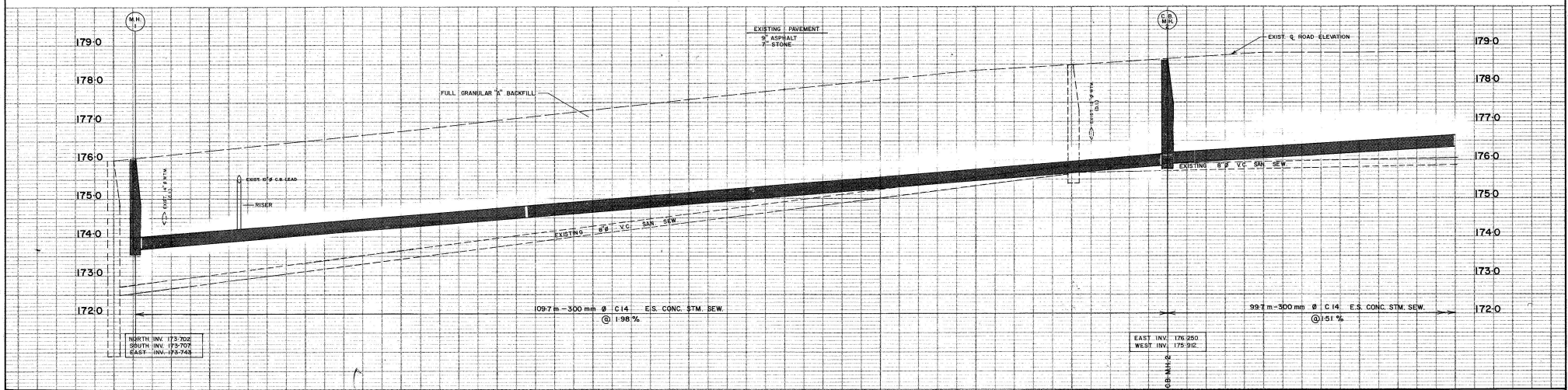
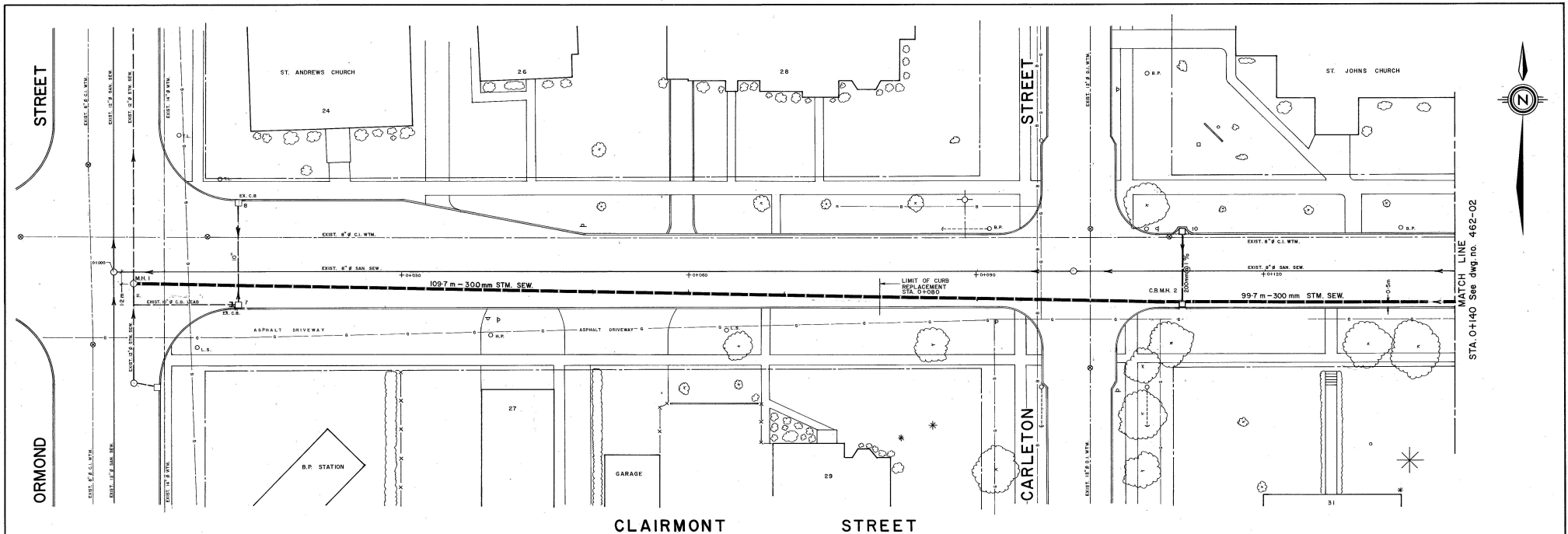


Andrew Smith, P. Eng.
Principal & Director
LandSmith Engineering & Consulting Ltd.
289-309-3632
andrew@landsmithec.com



Attachments:

Clairmont Street Plan & Profile Drawing
Topographic Survey by Richard Larocque Limited
Site Plan by The Office for Architecture & Urban Design Inc.
Grading & Existing Services Plan by LandSmith



STATION (Metres)	CHANGING ELEVATION (Metres)	GROUND ELEVATION (Metres)
0+000	176.00	M.A. I
0+002		
0+010	176.25	
0+020	176.50	
0+030	176.75	
0+040	177.03	
0+050	177.31	
0+060	177.59	
0+070	177.84	
0+080	178.08	
0+090	178.33	
0+100	178.49	
0+110	178.65	
0+120	178.80	
0+130	178.80	
0+140	178.81	

NOTES: 1. Bench Mark - Top of most westerly bolt on top flange of the fire hydrant on the south-east corner of the intersection of Albert St. and Chapel St. - 173.431 m
 2. Plot of underground and surface objects not guaranteed. Prior to commencing work the contractor is responsible for field locates of all utilities.
 3. Shoring to be in accordance with the construction safety act.

No.	Revision	Initial	Date
1.	AS CONSTRUCTED	T.D.	FEB. 80

CLAIRMONT STREET STORM SEWER
 STA. 0+000 TO STA. 0+140

City of Thorold Engineering

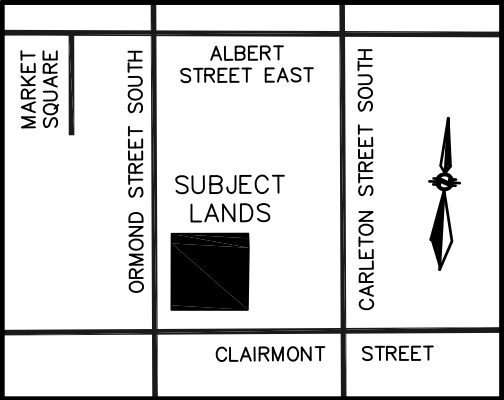
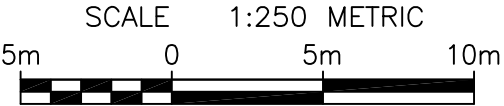
DESIGNED	D. M.	DATE	APR. 79	SCALE	HORIZ.	VERT.	1:50
CHECKED	R. L.	DATE	APR. 79	SCALE	HORIZ.	VERT.	1:50
DRAWN	B. S.	DATE	APR. 79	SCALE	HORIZ.	VERT.	1:50

DRAWING NO. 462-01

MATCH LINE
 STA. 0+140 See dwg. no. 462-02



PRELIMINARY SKETCH TO ACCOMPANY AN
APPLICATION UNDER THE PLANNING ACT
**LOTS 3 & 4 ON THE
NORTH SIDE OF CLAIRMONT STREET**
REG'D PLANS No's 890 & 891
CITY OF THOROLD
REGIONAL MUNICIPALITY OF NIAGARA



KEY PLAN
NOT TO SCALE

AREA SCHEDULE	
DESCRIPTION	AREA (m²)
PART 1	810.7
PART 2	221.6
PART 3	600.7

JUNE 17, 2025 O.L.S.
BRENT LAROCQUE

RICHARD LAROCQUE LIMITED
ONTARIO LAND SURVEYORS & CONSULTANTS
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6385 COLBORNE STREET, NIAGARA FALLS, ONTARIO
905-358-8400
www.larocquegroup.ca

(BY BY-LAW No. 1770, INSTRUMENT No. BL102)
(CANAL STREET MY REGISTERED PLAN No. 890)
(ORMOND STREET BY REGISTERED PLAN No. 891)

ORMOND STREET SOUTH

PIN 64050-0001(LT)

LOT 1, EAST SIDE
OF ORMOND STREET

PIN 64050-0255(LT)

LOT 1, WEST SIDE OF
CARLETON STREET

PIN 64050-0268(LT)

PIN 64050-0269 (LT)

PIN 64050-0250(LT) **CLAIRMONT STREET**

(BY REGISTERED PLAN No. 898)

THIS SKETCH IS PREPARED FOR AN
APPLICATION UNDER THE PLANNING ACT
AND ALL DIMENSIONS ARE TO BE
CONFIRMED BY SURVEY.

NOTE: THE LOT DIMENSIONS
ILLUSTRATED HEREON WERE OBTAINED
FROM PLANS AND DOCUMENTS ON FILE
AT THE LAND REGISTRY OFFICE

METRIC NOTE DISTANCES SHOWN ON
THIS PLAN ARE IN METRES AND CAN BE
CONVERTED TO FEET BY DIVIDING BY 0.3048.

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No person may copy, reproduce or alter this
plan in whole or in part without the written
permission of RICHARD LAROCQUE LIMITED

DRAWN BY:
D.B.

CHECKED BY:
B.L.

DATE:
JUNE 17, 2025

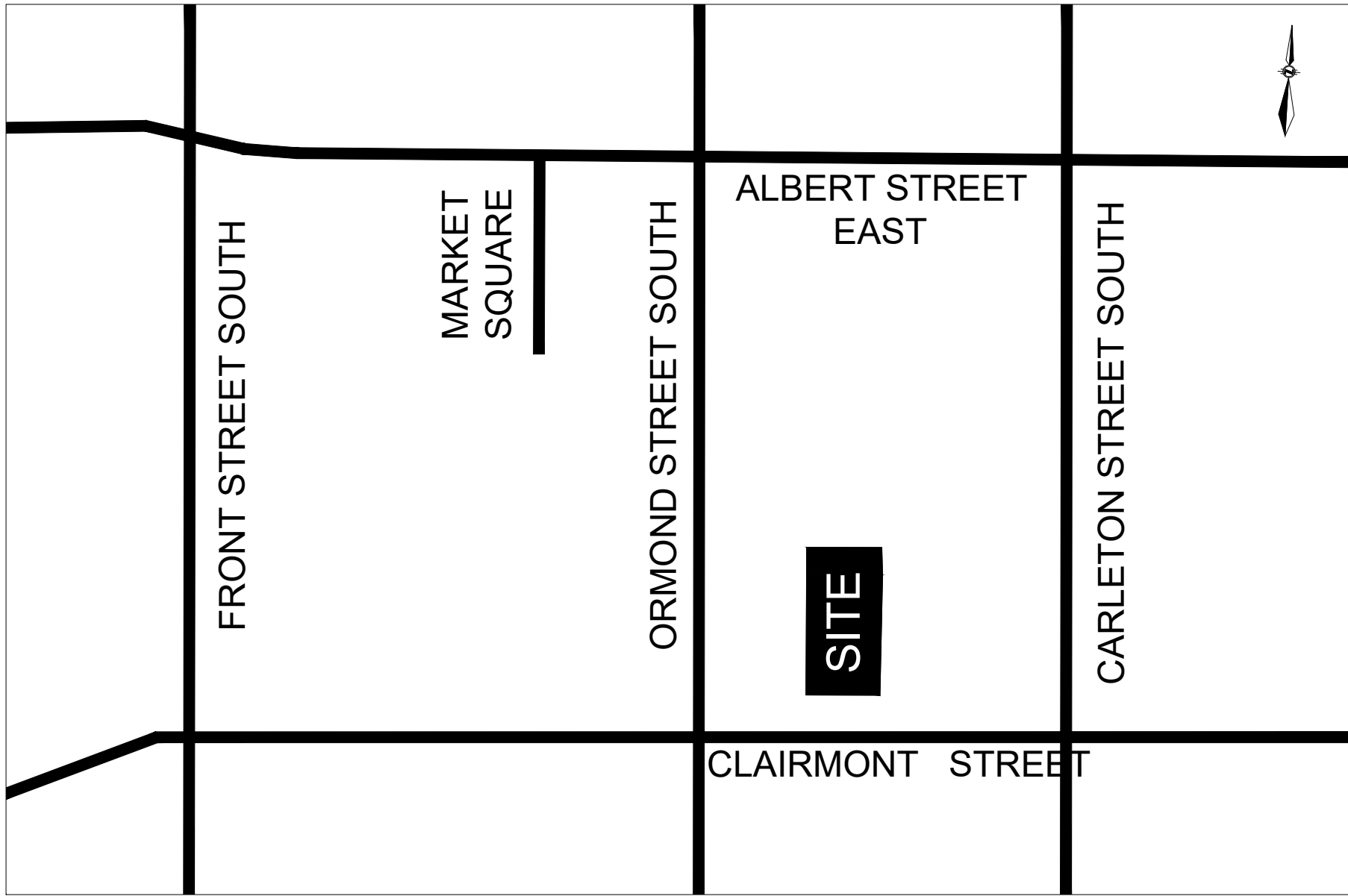
FILE: NS2023-031
DWG. FILE: NS2023-031-06

SITE STATISTICS

	26 Clairmont St.	
SITE AREA:	588.71sm [1.43ac]	
ZONING:	R1C	
LEGAL DESCRIPTION:	Lots 3 & 4 on the North Side of Clairmont Street Reg'd Plans No's 890 & 891. City of Thorold. Regional Municipality of Niagara	
PROPOSED USE:	Single Detached Dwelling	
	Required	26 Clairmont St.
MIN LOT AREA:	325m2	588.7 sm
MIN LOT FRONTAGE:	10.5m	14.64 m
SETBACKS:	Min.	Exist / Prop.
Front Yard	4.5m	10.35m
Rear Yard (Manse)	7.5m	15.99m
Rear Yard (Garage)	0.9m	1.6m
Int. Side Yard (Manse)		
East	1.2m	1.8m
West	1.2m	3.3m
Int. Side Yard (Garage)		
East	0.9m	5.8m
West	0.9m	1.6m
HEIGHT:		
Manse:	MAX: 11m	± 9.4m
Garage:	MAX: 4.5m	± 4.2m
LANDSCAPE		
Open Space	30%	408.37 sm (69.3 %)
MAX LOT COVERAGE:		
Manse:	MAX: 45%	± 149 sm (25.3 %)
Garage:	MAX: 6.25% of Max Manse Coverage (264.9 sm x 10%) 26.49 sm	± 36.8 sm (13.8%)* *13.8% of 264.9 sm
PARKING:	2 Cars	

DRAWING LEGEND

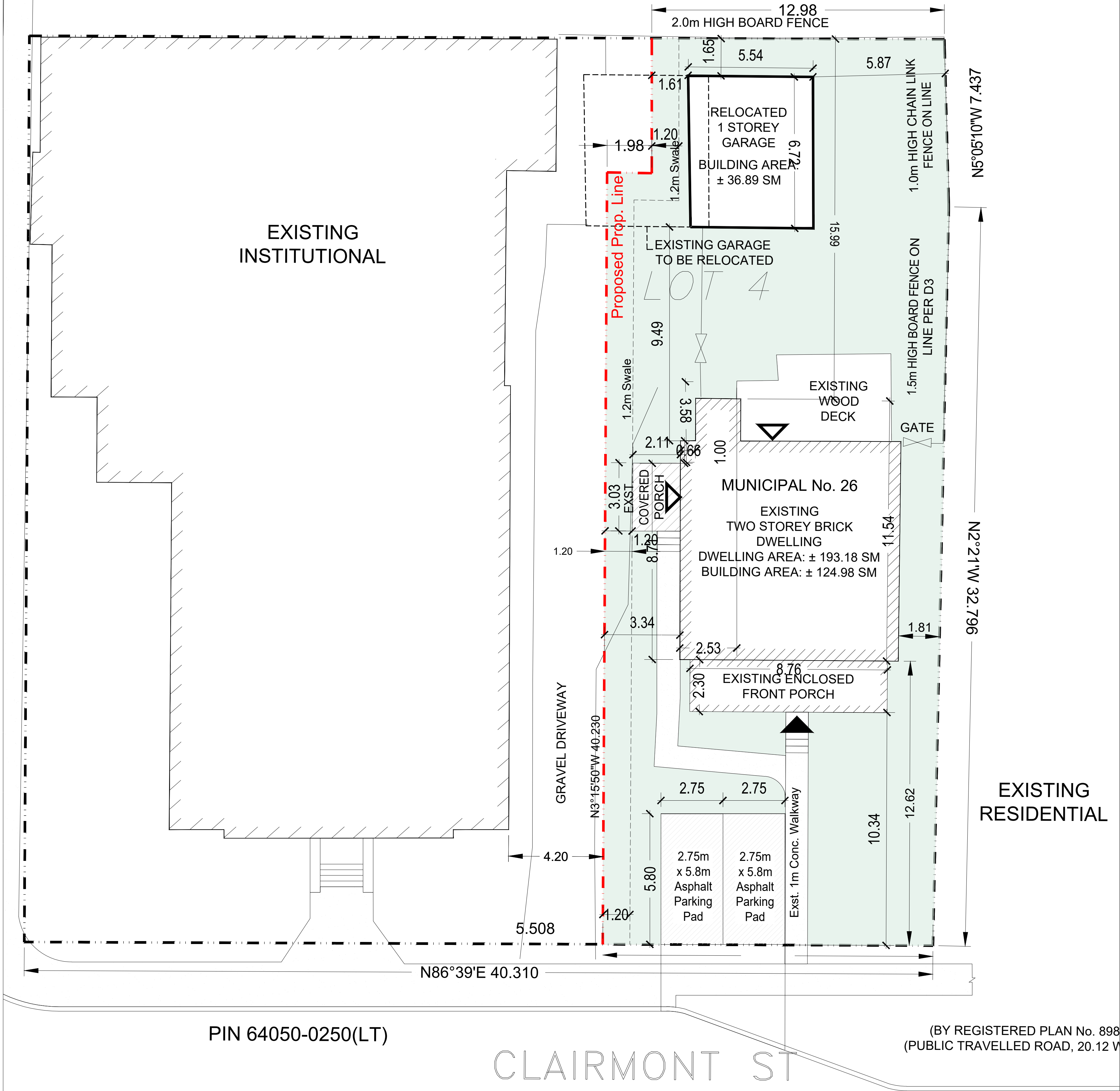
▼	PRINCIPAL ENTRANCE
▽	ENTRANCE



2 Key Plan

Scale: NTS

EXISTING INSTITUTIONAL

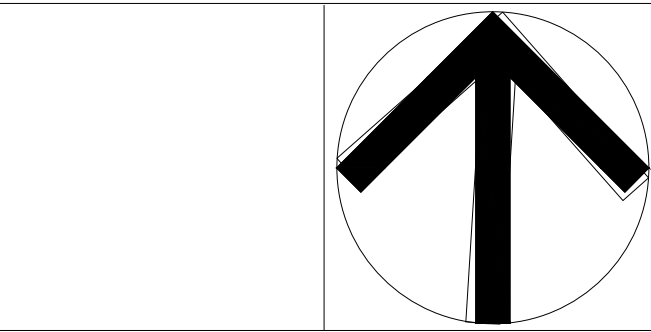


PIN 64050-0250(LT)

(BY REGISTERED PLAN No. 898
(PUBLIC TRAVELLED ROAD, 20.12 V

1 Site Plan

Scale: 1:100



1	Issued for Submission	Mar. 11, '26
1	Issued for Submission	Jan. 26, '26

NO: REVISIONS: ISSUED:

This drawing is the property of the Consultant and may not be reproduced or used without the expressed consent of the Consultant. The contractor is responsible for checking and verifying all levels and dimensions and shall report all discrepancies to the Consultant and obtain clarification prior to commencing work. These drawings are not to be used for construction purposes unless indicated as "Issued for Construction".
The Consultant does not assume liability for any errors or omissions of these documents, unless advised in writing of such commencement of construction.

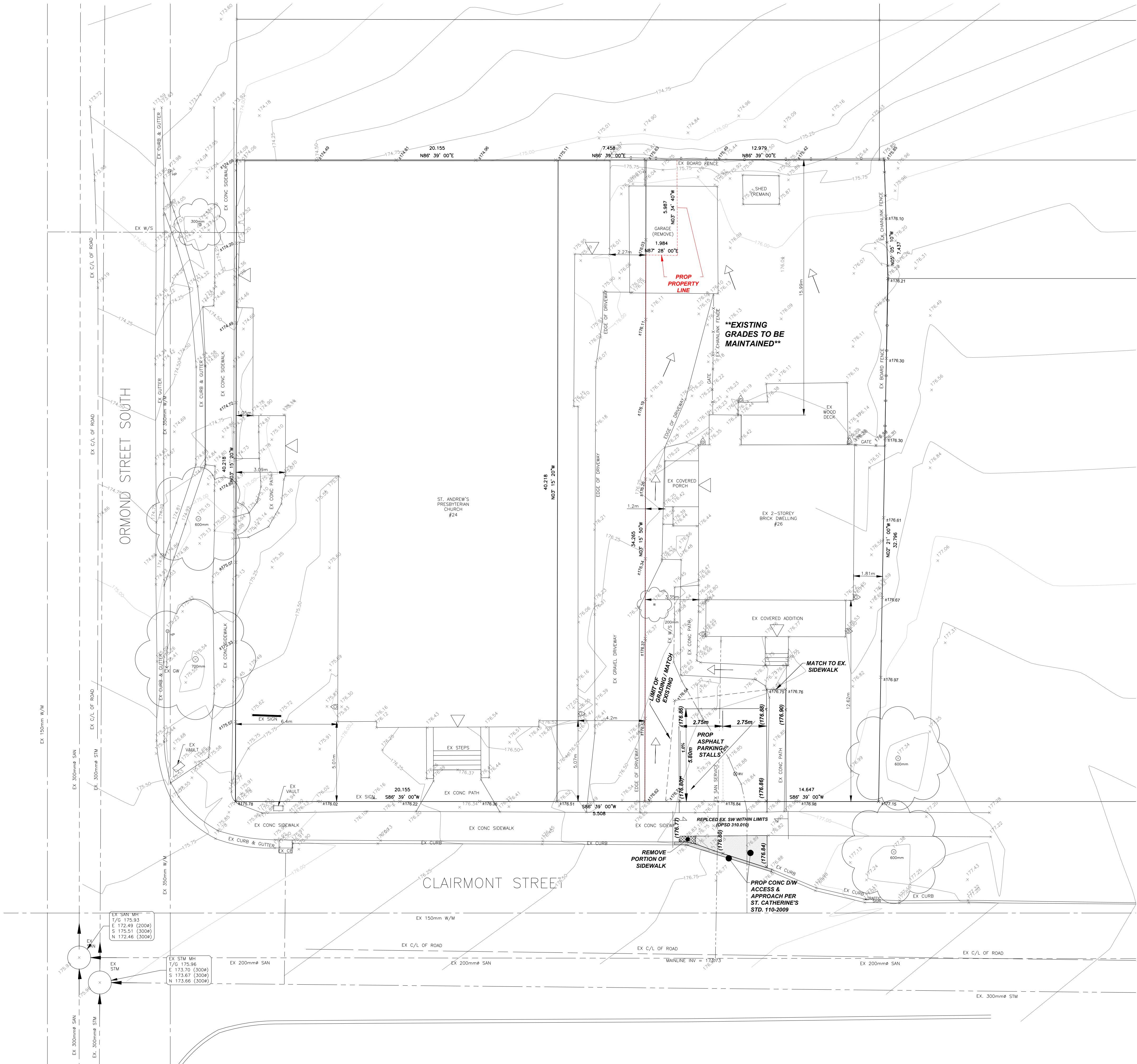
CLIENT:
26 Clairmont Manse Dwelling

26 Clairmont St
Thorold, ON L2V 1R3

PROJECT:
Lot Division Renovation

SHEET TITLE:
26 Clairmont Manse Dwelling Site Plan

PROJECT NO. D5020	
SCALE: 1:100	DATE: January, 2026
DRAWN: JD	SHEET NO: SP1
CHECKED: JD	
FILE NO. D5020	



- GENERAL GRADING NOTES:**
1. MATCH EXISTING GRADE AT PROPERTY / DEVELOPMENT LIMITS WITH SLOODED SLOPES OF MAXIMUM 3:1 AND/OR RETAINING WALLS AS SPECIFIED.
 2. SLOPES OF SWALES FOR BOTH "BACK-TO-FRONT" AND "SPLIT" DRAINAGE SHALL BE NO LESS THAN 2.0% AND NO GREATER THAN 3.3% (3:1).
 3. MINIMUM GRADE FOR APRON "WRAP-AROUND" SWALE AT THE REAR OF THE UNIT SHALL BE 1.0%.
 4. WHEN MATCHING TO EXISTING GRADE AT THE LIMITS OF THE DEVELOPMENT / PROPERTY WHERE 2.0% SLOPE CANNOT BE REASONABLY ACHIEVED A 1.0% GRADE IS PERMITTED PROVIDED A 150MM SUB-DRAIN IS INSTALLED WITH THE SWALE AS PER RD-121 AND CONNECTED TO A SUITABLE OUTLET.
 5. DRIVEWAY SLOPES SHALL NOT BE LESS THAN 2.0% AND SHALL NOT BE MORE THAN 7.0%. REVERSED SLOPED DRIVEWAYS ARE NOT ALLOWED FOR ANY NEW CONSTRUCTION.
 6. GARAGE FLOOR ELEVATION SHALL BE SET A MINIMUM OF 0.30M HIGHER THAN THE BACK OF WALK, UNLESS OTHERWISE SPECIFIED.
 7. THE TOP OF FOUNDATION WALL FOR THE DWELLING UNIT SHALL BE A MINIMUM 150MM (6") ABOVE FINISHED GRADE.
 8. UNLESS OTHERWISE NOTED, THE GROUND BETWEEN PROPOSED ELEVATIONS SHALL BE GRADED AS A STRAIGHT LINE.
 9. IF GRADING IS REQUIRED ON LANDS ADJACENT TO THE PROPERTY / DEVELOPMENT WHICH ARE NOT OWNED BY THE DEVELOPER, THEN THE DEVELOPER MUST OBTAIN WRITTEN PERMISSION FROM THE ADJACENT PROPERTY OWNER, OTHERWISE RETAINING WALLS MUST BE USED.
 10. ALL RETAINING WALLS SHALL BE PLACED A MINIMUM 0.45M FROM PROPERTY LINES.
 11. ANY WALL OF GREATER HEIGHT THAN 1.0M MUST BE DESIGNED BY A PROFESSIONAL ENGINEER.
 12. TOP OF RETAINING WALL ELEVATIONS SHALL BE SET A MINIMUM OF 150MM ABOVE THE PROPOSED SIDE-YARD SWALES.
 13. RETAINING WALLS 0.60M AND HIGHER REQUIRE CONSTRUCTION OF A FENCE OR GUARD RAIL AT THE TOP OF THE REAR OF THE WALL. SUCH FENCES OR GUARD RAILS SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE ONTARIO BUILDING CODE.
 14. ALL FILL COMPACTED ON THE LOT(S) SHALL BE COMPACTED TO A MINIMUM 95% SPD (UNLESS OTHERWISE RECOMMENDED BY A GEOTECHNICAL ENGINEER). MATERIALS SHALL BE PLACED IN LIFTS NOT EXCEEDING 300MM DEPTH.
 15. FOR DELINEATION OF TREE PROTECTION ZONES, BUFFERS, REMOVALS, AND PROTECTION SCHEMATICS REFER TO THE TREE PROTECTION PLAN (F APPLICABLE).

- BACKYARD GRADING NOTES:**
1. "REQUIRED BACKYARD" SHALL BE A MINIMUM OF 6.0 METRES UNLESS OTHERWISE DEFINED IN THE APPLICABLE ZONING BY-LAW.
 2. THE MAXIMUM SLOPE IN THE BACKYARD ADJACENT TO THE BUILDING FOR A DISTANCE EQUAL TO THE REQUIRED BACKYARD SHALL BE 5% EXCEPT FOR SIDE OR REAR YARD SWALES AND RETAINING WALLS.
 3. WHERE THE 5% RESTRICTION ON THE BACKYARD'S GRADES RESULTS IN ELEVATION DIFFERENCES BETWEEN ADJACENT PROPERTIES, RETAINING WALL SHALL BE CONSTRUCTED ALONG THE SIDES AND BACK OF THE LOT.
 4. GENERALLY, SLOPES SHALL BE PLACED ON THE LOWER LOT, WHEREAS RETAINING WALLS SHALL BE PLACED ON THE HIGHER LANDS.
 5. THE 5% RESTRICTION DOES NOT PRECLUDE RETAINING WALLS IN THE REQUIRED BACKYARDS PROVIDING THE TERRACES ARE MAINTAINED TO THE 5% GRADE AS SET OUT ABOVE. THE INTENTION OF THIS PROVISION IS TO PROVIDE FOR FLEXIBILITY OF HOUSE CONSTRUCTION.
 6. BACK TO FRONT DRAINAGE SHALL ONLY BE PERMITTED WHERE THE COMBINED SIDE YARD SETBACK IS 2.0M OR MORE, PROVIDING A MINIMUM OF 2.0M BETWEEN FOUNDATION WALLS FOR DRAINAGE SWALES. A 1.2m SETBACK IS REQUIRED ON THE GARAGE SIDE OF THE LOT.

- SILTATION AND EROSION CONTROL NOTES:**
1. SILTATION CONTROL BARRIERS SHALL BE PLACED AS DETAILED ON THE PLAN ACCORDING TO OPSD 219.110 (SEE DETAIL ON THIS SHEET).
 2. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
 3. CATCH BASIN SEDIMENT CONTROL DEVICES SHALL BE SILTSACK BY ACF ENVIRONMENTAL OR APPROVED EQUIVALENT, TO BE PLACED AS PER THE MANUFACTURER'S RECOMMENDATIONS (IF APPLICABLE).
 4. ADDITIONAL SILTATION CONTROL MEASURES MAY BE REQUIRED AS PER FIELD CONDITIONS AS DETERMINED BY THE CITY.

- SURFACE WORKS NOTES:**
1. ASPHALT PARKING AREA SHALL CONSIST OF 300MM GRANULAR 'A', COMPACTED TO 100% SPD BASE TOGETHER WITH 50MM H-3 TOP COURSE ASPHALT. SUB-BASE TO BE COMPACTED TO MINIMUM 98% SPD PRIOR TO GRANULAR PLACEMENT. ALL SILTATION CONTROL MEASURES SHALL BE CLEANED AND MAINTAINED AFTER EACH RAINFALL EVENT TO THE SATISFACTION OF THE CITY OF HAMILTON.
 2. CURB DEPRESSIONS AT DRIVEWAY SHALL BE AS PER OPSD 600.040 AND OPSD 310.050.
 3. 1.5M WIDE CONCRETE SIDEWALK SHALL BE MINIMUM 125MM THICKNESS, WITH MINIMUM 30 MPa 28-DAY STRENGTH, WITH GRANULAR 'A' BASE AS REQUIRED TO PROVIDE LEVELLING COURSE FOR THE CONCRETE. AT DRIVEWAYS, CONCRETE DEPTH TO BE MIN. 175MM.

- COMPACTION REQUIREMENTS:**
1. ALL BEDDING AND BACKFILL MATERIAL, ROAD SUB-GRADES AND GENERALLY ALL MATERIAL USED FOR LOT GRADING AND FILL SECTIONS, ETC., SHALL BE COMPACTED TO MIN. 100% SPD (UNLESS OTHERWISE RECOMMENDED BY THE GEOTECHNICAL ENGINEER). ALL MATERIAL SHALL BE PLACED AND COMPACTED IN LAYERS NOT EXCEEDING 300MM LIFTS.
 2. ALL GRANULAR ROAD AND PARKING AREA BASE MATERIALS SHALL BE COMPACTED TO 100% SPD.

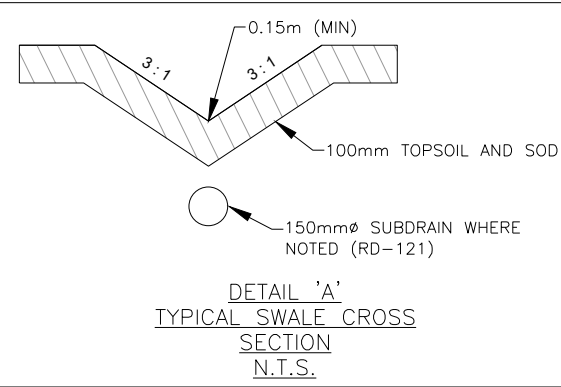
ROOFWATER LEADERS/SUMP PUMPS

ALL ROOFWATER LEADERS SHALL DISCHARGE ONTO SPLASH PADS AND THEN TO GRASSED OR LANDSCAPED AREAS A MIN. OF 0.6M FROM THE BUILDING FACE.

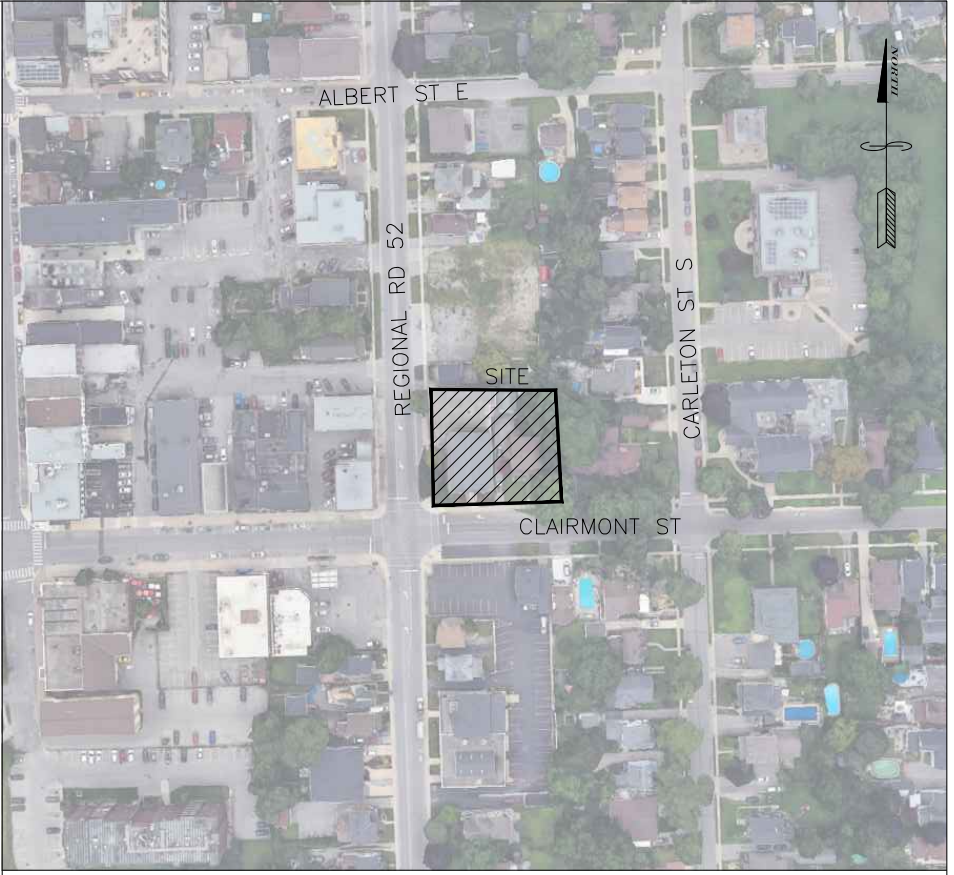
SUMP PUMPS WITH CHECK VALVES ARE TO BE INSTALLED IN EACH DWELLING TO PUMP THE WEeping TILES TO THE STORM PRIVATE DRAIN. THE SUMP OUTLET SHALL EXTEND A MINIMUM OF 150mm ABOVE THE PROPOSED GRADE AT THE DWELLING (BASEMENT CEILING) PRIOR TO DISCHARGING TO THE STORM PRIVATE DRAIN.

FOUNDATION DRAINS

WEeping TILES SHALL DRAIN TO SUMP PIT AND BE PUMPED TO STORM SEWER VIA PUMP SUMP WITH BACK-FLOW PREVENTOR (SEE DETAIL). MIN 1 HP PUMP WITH BACK-UP POWER REQUIRED.



- NOTES:**
1. LOCATIONS OF UNDERGROUND SERVICES ARE APPROXIMATE AND MUST BE FIELD VERIFIED PRIOR TO CONSTRUCTION.
 2. ANY DISCREPANCIES BETWEEN SERVICE LOCATIONS AND THESE ENGINEERING DRAWINGS MUST BE BROUGHT TO THE ATTENTION OF THE PROJECT ENGINEER.



KEY PLAN N.T.S.

BENCHMARK NOTE:
ELEVATION = 248.131 (CGVD-1928)
MONUMENT: 001975U132

PUMPING STATION, WILSON STREET AT SEMINOLE ROAD, TABLET IN TOP OF CONCRETE WELL, 27.4m SOUTHEAST OF CENTRELNE OF WILSON STREET, 18.0m NORTHEAST OF CENTRELNE OF SEMINOLE ROAD, 15.2m SOUTHEAST OF HYDRO POLE, 8.2m SOUTHWEST OF CORNER OF PUMP HOUSE.

SITE BENCHMARK:
ELEVATION = 251.07m
CUT-STAR IN MUNICIPAL SIDEWALK ON EAST SIDE OF FIDDLER'S GREEN ROAD AT SITE FRONTAGE AS INDICATED ON PLAN.

- GENERAL NOTES:**
1. TENDERER SHALL SATISFY THEMSELVES AS TO THE NATURE OF THE GROUND AND BID ACCORDINGLY.
 2. ALL ROCK LINE INDICATIONS SHOWN ON THE PLAN MUST BE VERIFIED BY THE CONTRACTOR.
 3. CONTRACTOR SHALL VERIFY LOCATIONS AND INVERTS OF ALL EXISTING SANITARY AND STORM SEWERS AND WATERMANS, PRIVATE DRAINS AND WATER SERVICES, GAS MAINS, CABLE TV, HYDRO AND TELEPHONE DUCTS ETC AT START OF CONSTRUCTION.

0	2026-03-30	ISSUED WITH FSR
NO:	DATE:	DESCRIPTION:
REVISIONS		
SEAL		

LandSmith ENGINEERING & CONSULTING LTD.
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HAMILTON, ON L9C 3A6
ANDREW@LANDSMITHEC.COM
289-309-3632

CLIENT:	ST. ANDREW'S PRESBYTERIAN CHURCH	
MUNICIPALITY:	REGIONAL MUNICIPALITY OF NIAGARA	
PROJECT NAME:	24 & 26 CLAIRMONT ST	
TITLE:	GRADING & EXISTING SERVICES PLAN	
SCALE:	1:125	DATE: 2026-03-03
CHECKED BY:	AS	DESIGNED BY: OJ
DWG No:	26009SIA	SHEET No: G1